



Residential Inspection Report To NZS4306

Prepared exclusively for:
Mr Customer



SITE ADDRESS:

XYZ St, Auckland

Prepared by:
Right Home NZ Limited
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Your Inspector:
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(Accredited Member of Building Officials Institute of NZ)

**This report is the sole property of Mr Customer
whose name appears in this report.
Use of this report by a third party is prohibited**



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EXECUTIVE SUMMARY

With the renovations, overall the property appears to be in ABOVE AVERAGE CONDITION, for its age, construction type and materials used in comparison with similar properties of the same age. The significant defects, risky details and recommendations are detailed in the report.

The Summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report.

SIGNIFICANT DEFECTS & RISKY ELEMENTS

(Refers to text in **RED** color in the main report)

SUBFLOOR

PLUMBING (Subfloor)

3.18 WATER SUPPLY PIPES

Black plastic piping found in the subfloor. This type of black plastic pipe has known history of causing water leaks at joints. In some places it has been replaced which appear to be done as a result of leak. Recommend this be evaluated by a registered plumber.

ROOFING

SLOPED ROOF

5.3 CONCRETE TILES

A tile was dislocated at the right side above the door leaving a gap. This can cause roof leak. Recommend this be repaired by a qualified roofing contractor.

MAIN FLOOR

LAUNDRY ROOM

8.18 FLOORS

The floor appeared depressed close to the wall which appeared to be caused by previous water damage. Recommend this be further investigate using invasive / destructive inspection techniques by a qualified weather tightness surveyor to assess the damage to the floor and wall and repairs undertaken.

MOISTURE INTRUSION TESTING

MOISTURE INTRUSION TESTING

12.2 LIVING ROOM

High Moisture Readings were observed at the wall left of the sliding door. Recommend this be further evaluated using invasive / destructive inspection techniques by a qualified weather tightness surveyor.

12.3 BEDROOM 1

High Moisture Readings were observed at the wall close to skirting below the window. Recommend this be further evaluated using invasive / destructive inspection techniques by a qualified weather tightness surveyor.

12.4 BEDROOM 2

High moisture readings were observed at the wall close to skirting below the window. Recommend this be further evaluated using invasive / destructive inspection techniques by a qualified weather tightness surveyor.

OTHER ITEMS REQUIRING REPAIR

(Refers to text in **BLUE** color in the main report)

SITE

SITE

2.4 SURFACE WATER CONTROL

The ground is sloping towards the house (negative drainage) at rear. The ground should slope away from the home foundation. Excessive moisture content in soil supporting the foundation can compromise foundation integrity.

The Inspector recommends re-grading these areas to improve drainage near the foundation.

2.5 FENCE

Fencing is leaning at left side. Recommend this be repaired by a qualified fencing contractor.

SUBFLOOR

STRUCTURE CONDITION

3.7 Fibre Cement Wall

There are damages to the fibre cement base boards covering the subfloor space. Recommend this be corrected by a qualified contractor.

SUBFLOOR INSULATION

3.15 INSULATION CONDITION

Insulation is damaged in many places. Recommend this be corrected.

EXTERIOR

CLADDING CONDITION

4.4 CLADDING CONDITION

Bottom edges of some cladding planks are weathered. Recommend these be repaired / replaced to avoid further damage.

A crack on the left wall be repaired to avoid moisture intrusion.

4.5 TRIM / FLASHING

Corner trim near the front door is displaced. Recommend this be corrected.

ROOFING

SLOPED ROOF

5.3 CONCRETE TILES

Mortar missing on some ridge tiles. Recommend this be repaired to prevent damage to the underlying roof structure from moisture intrusion.

ROOF DRAINAGE

5.4 GUTTERS

Debris visible in the gutters at the time of the inspection.

Remove debris from gutter to allow proper roof run-off. Recommend installing screens over gutters to prevent further accumulation of debris.

EAVES, FASCIA & SOFFITS

5.5 FASCIA / SOFFITS

Barge board at front appeared to be water damaged at the left end and needs to be repaired by a roofing contractor.

MAIN FLOOR

Site address: _____

Confidential - prepared for: _____



LIVING ROOM

8.3 WALLS

Joint cracking visible in general. Recommend to patch and paint. Recommend this be monitored.

BATHROOM

8.14 WINDOWS

A window sash in this room exhibited minor deterioration. Recommend this be painted.

LAUNDRY ROOM

8.19 WALLS

The wall is repaired poorly around this area. Recommend this be further evaluated and repaired by a qualified builder.

KITCHEN

8.26 FLOORS

Damage to the vinyl flooring noticed. Recommend this be repaired.

SMOKE / CO DETECTORS

8.31 SMOKE DETECTORS

No smoke detector observed on this floor.

The Inspector recommends installing smoke detectors in compliance with modern requirements.

PLUMBING

WATER HEATER:

9.8 Exposed Water Heater Condition:

Seismic restraints not installed. To ensure the stability during earthquake, it is recommended to install seismic restraints by a plumbing contractor.

GARAGE

ROOF

11.5 DESCRIPTION

Rust damage with holes on the roof sheet noticed which can cause roof leaks. Recommend this be repaired by a qualified roofing contractor.

The roof pitch is 0.05 degrees. Recommended minimum pitch: 3 degree.

Recommend this be evaluated and reconstructed with correct pitch for better drainage.

Rust noticed in some places needs repair.

11.6 GUTTERS

Metal - External,

Debris visible in the gutters at the time of the inspection.

Remove debris from gutter to allow proper roof run-off. Recommend installing screens over gutters to prevent further accumulation of debris.

Rust noticed in the gutter. Recommend this be repaired / replaced by a qualified roofing contractor.

MOISTURE INTRUSION TESTING

MOISTURE INTRUSION TESTING

12.2 LIVING ROOM

Paint peeling noticed in window frames. Recommend this be repaired and painted.

RESTRICTIONS / LIMITATIONS TO INSPECTION

Site address: ,

Confidential - prepared for:



(Refers to text in **GREEN** color in the main report)

SUBFLOOR

STRUCTURE DESCRIPTION

3.3 LIMITATIONS

Items stored limited the movement in the subfloor. Recommend to remove them for better ventilation.

EXTERIOR

EXTERIOR - STRUCTURE

4.6 LIMITATIONS

The Inspector disclaims responsibility for providing information about the condition of any portions of the foundation which were hidden at the time of the inspection.

ROOFING

SLOPED ROOF

5.1 INSPECTION METHOD

Roof inspected on ladder from roof edge and with binoculars where needed

ATTIC (Roof Space)

ATTIC - STRUCTURE

6.2 LIMITATIONS

The attic had limited headroom and its inspection was limited to evaluation from the access hatch.

MAIN FLOOR

KITCHEN APPLIANCES

8.28 COOKTOP ELECTRIC

Powers up. The General Home Inspection does not include testing of all the features, but is limited to availability of power supply only.

You should ask the seller about the functionality.

8.29 OVEN

Powers up.

The General Home Inspection does not include testing of all oven features, but is limited to confirmation of power supply only.

You should ask the seller about the functionality of any other features.

8.30 DISHWASHER

Powers up. But the dishwasher is not operated. The General Home Inspection does not include testing of all the features, but is limited to availability of power supply only.

You should ask the seller about the functionality.

RECOMMENDATIONS / IMPROVEMENTS

(Refers to text in **ORANGE** color in the main report)

SUBFLOOR

STRUCTURE CONDITION

Site address: ,

Confidential - prepared for:



3.7 Fibre Cement Wall

The fibre cement baseboards covering the sub-floor may contain Asbestos considering the age of the building. Recommend to get this tested.

SUBFLOOR INSULATION

3.14 INSULATION TYPE

The floors above the crawlspace has FOIL INSULATION. This insulation is not permitted now a days. This has potential electrical safety hazards. Recommend to consult a registered electrician to mitigate the risk.

EXTERIOR

EXTERIOR WALL

4.3 CLADDING MATERIAL

The exterior wall cladding is Fibre Cement plank weatherboard. This may contain Asbestos considering the age of the building. Recommend to get this tested for Asbestos. They should be kept painted for protection.

MAIN FLOOR

BATHROOM

8.13 EXHAUST FANS

Although this bathroom has had a window, no exhaust fan was installed to exhaust moist air.

This condition is likely to result in excessively high humidity levels in this bathroom during the winter when low outside temperatures make ventilation with an open window uncomfortable.

Consider installation of an exhaust fan in this bathroom to prevent problems from excessively high humidity.

ELECTRICAL

Electrical Distribution Panels:

10.1 Main Panel Devices:

The main electrical service panel appeared to be original and was of old fuse type.

Service panels of this type and age were not designed to handle the larger loads placed upon service panel equipment by electrical appliances commonly found in modern homes. The Inspector recommends evaluation by a registered electrical contractor to determine the current condition and upgrade options.

GENERAL INFORMATION

SCOPE OF THIS REPORT

1.1 SCOPE

This report and the inspection service offered is based on the VISUAL, NON-INVASIVE INSPECTION of the property at the time of inspection. It is carried out in accordance with the guidelines of the New Zealand Standard NZS4306:2005 and the scope and limitations as detailed in the Appendix 1. This is sent as "Letter Of Engagement" and agreed by the client before inspection.

1.2 DISCLAIMERS

The General Home inspection is not an inspection for mold and the inspector specifically disclaims and assumes no responsibility for identifying the presence of mold fungi. Mold fungi are present in all homes and may be present at levels at which sensitive people may react physically to their presence, even at levels at which fungal colonies are not visible, or when fungal colonies are hidden in inaccessible portions of the home.

If you are concerned with mold, the Inspector recommends that you hire a specialist to perform further testing.

The General Home inspection does not include confirmation of the presence of allergens of any type. Many types of allergens exist to which different people show widely varying levels of sensitivity. Testing for allergens requires a specialist inspection. The Inspector recommends that you have specialist testing performed if allergens are a concern to you. You should consider having tests performed if you expect those suffering from allergies, asthma, lung disease or who have compromised immune systems to be present in the home. The General Home inspection is not an inspection for asbestos and the inspector specifically disclaims and assumes no responsibility for identifying the presence of asbestos. Asbestos can be present in certain products found in homes such as but not limited to vinyl flooring, ceiling tiles, certain types of insulation and may be present at levels at which could be harmful if exposed to for long periods of time.

If you are concerned with asbestos, the Inspector recommends that you hire a specialist to perform further testing.

GENERAL INFORMATION

1.3 REPORT NUMBER

3-8 Martha.

1.4 DATE OF INSPECTION

28/09/2018

1.5 TIME OF INSPECTION

1.15 PM to 3.05 PM.

1.6 WEATHER CONDITION

It was sunny.

There was recent rain before inspection.

1.7 SOIL CONDITION:

Wet.

1.8 CLIENT NAME

Osaiasi Tukumoeatu

1.9 SITE ADDRESS

3/8 Martha Lane, Weymouth, Auckland, ,

1.10 CLIENT'S CONTACT

Cellular: 027-439-1600

Email address: tukumoeatu@xtra.co.nz

1.11 PRESENT AT INSPECTION

Real estate agent.

1.12 NOTICE TO ABSENT CLIENTS

I prefer to have my clients present at inspections so that I can more easily explain complicated or technical issues. Potential buyers often look at a home from a different perspective after receiving the Inspection results. Because you were unable to attend, I strongly encourage you to read the whole report thoroughly. Please contact me if you have any questions.

1.13 INSPECTION REQUESTED BY

Client.

1.14 INSPECTOR'S NAME

Kathir Sam.

1.15 REPORT DUE BY

29/9/2018.

1.16 FEES CHARGED

\$399 + GST.

PROPERTY OVERVIEW

1.17 PROPERTY DESCRIPTION

The property inspected is a single level house with a living room, a kitchen, a laundry, 3 bedrooms, a bathroom and a toilet.



**1.18 TYPE OF PROPERTY**

Free Standing.

1.19 NO. OF STORIES:

1

1.20 TYPE OF SPACE UNDER BUILDING

This property has a full subfloor.

1.21 PARKING

1 Car Garge.

1.22 OCCUPANCY

Unoccupied and unfurnished.

1.23 CONSTRUCTION TYPE

Timber framed.

1.24 ROOFING

Concrete tiles.

1.25 CLADDING

The exterior wall cladding is Fibre Cement plank weatherboard.

1.26 FOUNDATION

Timber Pile.

1.27 YEAR OF CONSTRUCTION

1985 as per QV.

CLIENT TYPE**1.28 GENERAL INFORMATION**

Potential Buyer.

SITE

SITE

This inspection is not intended to address or include any geological conditions or site stability information. We do not comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces can imply the presence of expansive soils that can result in continuous movement, but this can only be confirmed by a geological evaluation of the soil. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. We do not evaluate whether it is a flood / earthquake prone site. We cannot determine drainage performance of the site or the condition of any underground piping, including subterranean drainage systems and public water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. Any areas too low to enter or not accessible are excluded from the inspection. We do not evaluate any detached structures such as storage sheds and stables, nor mechanical or remotely controlled components such as driveway gates. We do not evaluate or move landscape components such as trees, shrubs, fountains, ponds, statuary, pottery, fire pits, patio fans, heat lamps, and decorative or low-voltage lighting. Any such mention of these items is informational only and not to be construed as inspected.

SITE

2.1 SITE EXPOSURE, CONTOUR, VEGETATION

The house is positioned on a section slightly sloping up the road.

2.2 DRIVEWAY

Material : Concrete.

2.3 PATHS

LOCATION : Right side, MATERIAL : Concrete.



2.4 SURFACE WATER CONTROL

The ground is sloping towards the house (negative drainage) at rear. The ground should slope away from the home foundation. Excessive moisture content in soil supporting the foundation can compromise foundation integrity.

The Inspector recommends re-grading these areas to improve drainage near the foundation.



2.5 FENCE

The fencing on the property is made of timber planks.
HEIGHT : 1.8 M.



Fencing is leaning at left side. Recommend this be repaired by a qualified fencing contractor.



Metal fencing at rear.



SUBFLOOR

This inspection is not a structural inspection. All structures are dependent on the soil beneath them for support, but soils are not uniform. In accordance with the inspection standard, we identify foundation types and look for any evidence of structural deficiencies / alterations. However, minor cracks or deteriorated surfaces are common in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. We will certainly alert you to any suspicious cracks if they are clearly visible. However, we are not specialists, and in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert. We also routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.

ACCESS POINT

3.1 LOCATION

LOCATION: Front.



GROUND CONDITION

3.2 FLOOR MATERIAL

Soil.



STRUCTURE DESCRIPTION

3.3 LIMITATIONS

Items stored limited the movement in the subfloor.
Recommend to remove them for better ventilation.



3.4 ALTERATIONS

No visible alterations observed in the accessible parts of the subfloor space.

3.5 FOUNDATION TYPE

Timber Pile braced in some locations.

3.6 FOUNDATION DESCRIPTION

Timber pile with timber bearer and joists.

STRUCTURE CONDITION

3.7 Fibre Cement Wall

Overview.
The fibre cement baseboards covering the sub-floor may contain Asbestos considering the age of the building. Recommend to get this tested.



There are damages to the fibre cement base boards covering the subfloor space. Recommend this be corrected by a qualified contractor.



3.8 FLOOR FRAMING CONDITION

Overview.



3.9 BOUNDARY JOIST / SILL PLATE / LEDGER

Double bearer.



3.10 PILE / POST / COLUMNS

Overview



3.11 BEARER

Overview



3.12 PILE TO BEARER CONNECTIONS

The connection is by wire dogs.



3.13 BRACING

Overview



SUBFLOOR INSULATION

3.14 INSULATION TYPE

The floors above the crawlspace has FOIL INSULATION. This insulation is not permitted now a days. This has potential electrical safety hazards. Recommend to consult a registered electrician to mitigate the risk.



3.15 INSULATION CONDITION

Insulation is damaged in many places. Recommend this be corrected.



SUBFLOOR VENTILATION

3.16 Subfloor Ventilation:

The cross-ventilation in the sub floor is provided by vents on the wall.



PLUMBING (Subfloor)

3.17 PIPE SUPPORTS

Pipes appear to be sufficiently supported.

3.18 WATER SUPPLY PIPES

Black plastic piping found in the subfloor. This type of black plastic pipe has known history of causing water leaks at joints. In some places it has been replaced which appear to be done as a result of leak. Recommend this be evaluated by a registered plumber.



Floor sheathing below the bathroom area appeared to be replaced with plywood.





3.19 WASTE PIPES
PVC / UPVC.



3.20 WASTE TRAPS
Appeared serviceable.



ELECTRICAL (Subfloor)

3.21 BRANCH WIRING
TPS cabling found which is the type of cabling used currently.





PEST

3.22 VERMIN / BIRDS / RODENTS

No evidence of wood destroying insects nor any signs of rodents were observed at the time of the inspections.

EXTERIOR

This includes inspection of the external surfaces of the building like cladding, other systems attached to it and exterior features. There may be restrictions to inspection like stored items and vegetation which will be mentioned in the report. We do not move anything for inspection.

LIMITATIONS

4.1 LIMITATIONS

The inspection of the building exterior was performed from the ground.

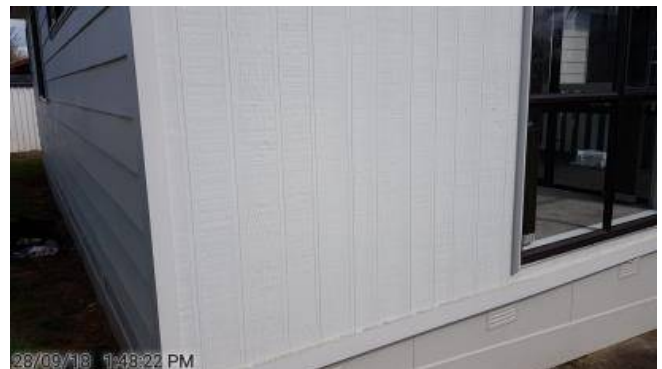
EXTERIOR WALL

4.2 CONSTRUCTION TYPE

Timber Framed.

4.3 CLADDING MATERIAL

The exterior wall cladding is Fibre Cement plank weatherboard. This may contain Asbestos considering the age of the building. Recommend to get this tested for Asbestos. They should be kept painted for protection.



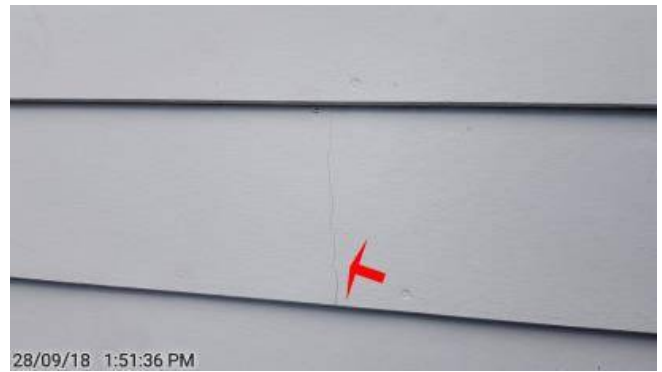
CLADDING CONDITION

4.4 CLADDING CONDITION

Bottom edges of some cladding planks are weathered. Recommend these be repaired / replaced to avoid further damage.



A crack on the left wall will be repaired to avoid moisture intrusion.



4.5 TRIM / FLASHING

Corner trim near the front door is displaced. Recommend this be corrected.



EXTERIOR - STRUCTURE

4.6 LIMITATIONS

The Inspector disclaims responsibility for providing information about the condition of any portions of the foundation which were hidden at the time of the inspection.

EAVES, FASCIA & SOFFITS

4.7 EAVES

Eaves Width was approximately 550 mm.



4.8 FASCIA / SOFFITS

Soffit appears to be made of and fibre cement sheet which may contain Asbestos considering its age.

Fascia appears to be made of timber.

DOORS AND WINDOWS

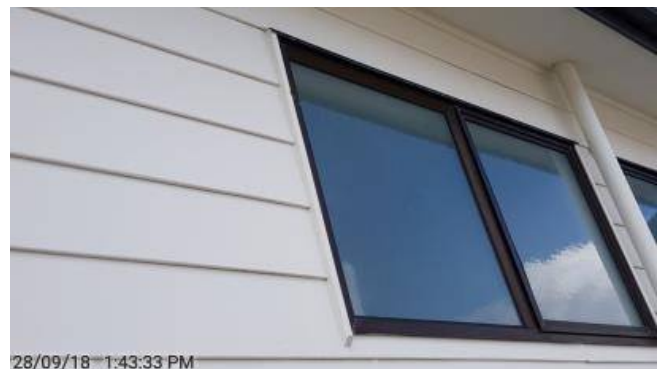
4.9 DOORS (description)

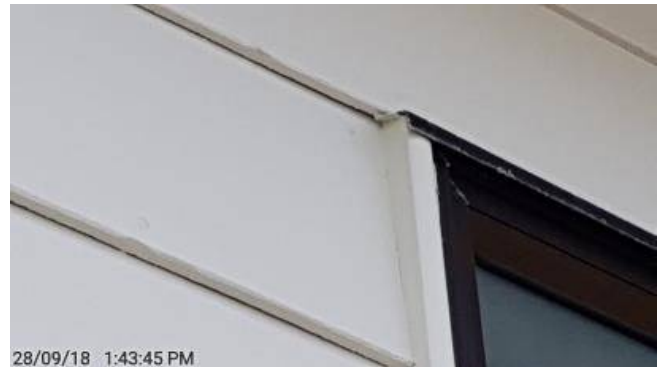
Aluminium - Single glazed.



4.10 WINDOWS (description)

Aluminium - Single glazed with head flashing and side scribes





PLUMBING (Exterior)

4.11 GUTTERS

Material: PVC.



4.12 DOWNPIPES

Material: PVC.

4.13 SEWER LINE

Overview of the Gully.



STAIRS / STEPS

4.14 STAIRS / STEPS

LOCATION : Right side,

MATERIAL : Concrete.



EXTERIOR FEATURES

4.15 DECK

A timber deck with timber framed roof with plastic roofing sheets is located at the front of the house.



ROOFING

ROOF SYSTEM

We generally do not walk on the roof as it can cause roof surface damage. In some cases we do walk on the roof where it won't cause damage and is safe to do so, where a closer inspection is preferred. Every roof will wear differently relative to its age, number of layers, quality of material, method of application, exposure to weather conditions, and the regularity of its maintenance. We can only offer an opinion of the general quality and condition of the roofing material.

The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. Although roof condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of a standard home inspection. Even water stains on ceilings or on framing within attics will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. We evaluate every roof conscientiously, but we will not predict its remaining life expectancy, or guarantee that it will not leak. Naturally, the sellers or the occupants of a residence will generally have the most intimate knowledge of the roof and of its history. Therefore, we recommend that you ask the sellers about it. We do not inspect attached accessories including but not limited to solar systems, antennae, and lightning arrestors except for their connection to roof.

SLOPED ROOF

5.1 INSPECTION METHOD

Roof inspected on ladder from roof edge and with binoculars where needed

5.2 DESCRIPTION

The roof configuration is Hip & Gable
Material: Concrete tiles.



5.3 CONCRETE TILES

Mortar missing on some ridge tiles. Recommend this be repaired to prevent damage to the underlying roof structure from moisture intrusion.



A tile was dislocated at the right side above the door leaving a gap. This can cause roof leak. Recommend this be repaired by a qualified roofing contractor.



ROOF DRAINAGE

5.4 GUTTERS

Debris visible in the gutters at the time of the inspection.
Remove debris from gutter to allow proper roof run-off. Recommend installing screens over gutters to prevent further accumulation of debris.



EAVES, FASCIA & SOFFITS

5.5 FASCIA / SOFFITS

Barge board at front appeared to be water damaged at the left end and needs to be repaired by a roofing contractor.



VENTS PIPES

5.6 DRAIN / WASTE / VENT PIPES

Roof penetration flashing appeared serviceable at the time of inspection.



ATTIC (Roof Space)

There is a minimum access requirement for inspecting the attic space in the inspection standard and it is not possible to access all parts of the attic. We do not enter the attic if we feel it is unsafe to do so. We identify the type of roof structure, alterations / defects, insulation condition, wiring, roof underlay etc., The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. Although roof condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our service. Even water stains on ceilings or on framing within attic will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. Naturally, the sellers or the occupants of a residence will generally have the most intimate knowledge of the roof and of its history. Therefore, we recommend that you ask the sellers about it.

ATTIC - STRUCTURE

6.1 ACCESSIBILITY

The attic hatch was located in the Bedroom (rear right) Closet.

6.2 LIMITATIONS

The attic had limited headroom and its inspection was limited to evaluation from the access hatch.

6.3 ALTERATIONS

No visible alterations observed in the accessible parts of the attic space.

6.4 ROOF TRUSSES

The roof was constructed using engineered (manufactured) trusses. Trusses must never be cut or altered in any way. Adding structural loads to portions of trusses which were not designed to bear such extra weight will alter truss performance and should be avoided.



6.5 ROOF FRAMING CONDITION

Overview.



6.6 CEILING CONSTRUCTION

Overview.



6.7 VERMIN / BIRDS / RODENTS

No evidence of wood destroying insects nor any signs of rodents were observed at the time of the inspections.

6.8 MOISTURE / WATER INTRUSION

No visible signs of water intrusion, moisture or mould was observed in the attic at the time of the inspection.

ATTIC (Insulation / ventilation)

6.9 INSULATION TYPE

The attic insulation appeared to be blown-in fiberglass.

6.10 INSULATION CONDITION

Insulation thickness is approximately 100 mm.



6.11 INSULATION CLEARANCE

There is clearance around roof edges for ventilation.

INTERIOR

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and the testing of a representative number of windows and doors. We do not evaluate window treatments, move furnishings or possessions, lift carpets or rugs, empty closets or cabinets, nor comment on cosmetic deficiencies. Floor covering damage or stains may be hidden by furniture, and the condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible. Check with owners for further information. We do not inspect the fireplace or chimney interiors. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Testing or identifying the source of environmental pollutants or odours (including but not limited to lead, mold, allergens, odors from household pets and cigarette smoke) is beyond the scope of our service.

DOORS

7.1

Door inspection includes examination for proper installation, operation and condition. A representative number of interior doors and all exterior doors were operated.

WINDOWS

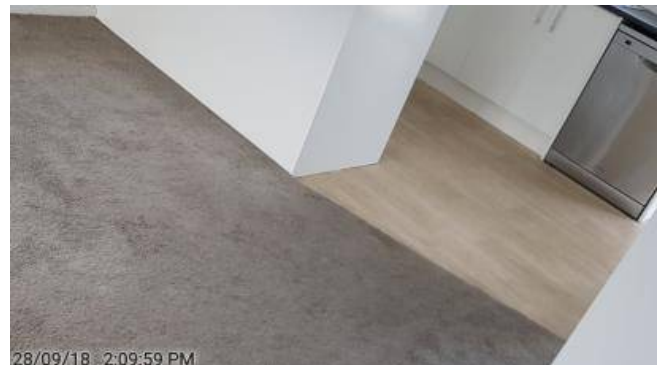
7.2

Window inspection includes examination for proper installation, operation and condition. A representative number of windows were operated.

SURFACES DESCRIPTION

7.3 MAIN FLOOR

Floors are covered with carpet in general and vinyl in laundry, bathroom and toilet.
Walls & Ceiling: Plasterboard.



MAIN FLOOR

ENTRY / HALLWAYS

8.1 CONDITION

Overview of the area.



LIVING ROOM

8.2 CONDITION

Overview of the area.



8.3 WALLS

Joint cracking visible in general. Recommend to patch and paint. Recommend this be monitored.



BEDROOM 1

8.4 CONDITION

Overview of the area.



8.5 LOCATION

Front right.

BEDROOM 2

8.6 CONDITION

Overview of the area.



8.7 LOCATION

Front left.

BEDROOM 3

8.8 CONDITION

Overview of the area.



BATHROOM

8.9 CONDITION

Overview of the area, Appears to be recently renovated.



8.10 PLUMBING FIXTURES

Metal with Chrome finish.

8.11 SHOWER ENCLOSURE

Material, Plastic lined
Screen, Glass,
The shower had functional water flow and drainage at the time of inspection. No visible leaks at the time of inspection.



8.12 VANITY / SINK

Material, Ceramic bowl in a melamine cabinet,
The sink appeared to have functional water flow and
drainage at the time of the inspection. No visible
leaks with sink plumbing.



8.13 EXHAUST FANS

Although this bathroom has had a window, no exhaust fan was installed to exhaust moist air.
This condition is likely to result in excessively high humidity levels in this bathroom during the winter when low
outside temperatures make ventilation with an open window uncomfortable.
Consider installation of an exhaust fan in this bathroom to prevent problems from excessively high humidity.

8.14 WINDOWS

A window sash in this room exhibited minor
deterioration. Recommend this be painted.



TOILET

8.15 CONDITION

Overview of the area.



8.16 TOILET

Dual Flush type.
Had functional flushing at the time of inspection.



LAUNDRY ROOM

8.17 CONDITION

Overview of the area.



8.18 FLOORS

The floor appeared depressed close to the wall which appeared to be caused by previous water damage. Recommend this be further investigate using invasive / destructive inspection techniques by a qualified weather tightness surveyor to assess the damage to the floor and wall and repairs undertaken.



8.19 WALLS

The wall is repaired poorly around this area. Recommend this be further evaluated and repaired by a qualified builder.



8.20 SINKS

The sink appeared to have functional water flow and drainage at the time of the inspection. No visible leaks with sink plumbing.

**KITCHEN****8.21 CONDITION**

Overview of the area, Appears to be recently renovated.



Site address:

Confidential - prepared for:

8.22 SINK

Material, Stainless Steel,
The sink appeared to have functional water flow and drainage at the time of the inspection. No visible leaks with sink plumbing.



8.23 PLUMBING FIXTURES

The plumbing fixtures are made of metal with chrome finish

8.24 COUNTERS

Material : MDF laminate board.



8.25 CABINETS

Material : Melamine.

8.26 FLOORS

Damage to the vinyl flooring noticed. Recommend this be repaired.



KITCHEN APPLIANCES

8.27 EXHAUST FANS

The range hood exhaust fan and lights appeared to be in serviceable condition at the time of the inspection.



8.28 COOKTOP ELECTRIC

Powers up. The General Home Inspection does not include testing of all the features, but is limited to availability of power supply only. You should ask the seller about the functionality.



8.29 OVEN

Powers up. The General Home Inspection does not include testing of all oven features, but is limited to confirmation of power supply only. You should ask the seller about the functionality of any other features.



8.30 DISHWASHER

Powers up. But the dishwasher is not operated. The General Home Inspection does not include testing of all the features, but is limited to availability of power supply only. You should ask the seller about the functionality.



SMOKE / CO DETECTORS

8.31 SMOKE DETECTORS

No smoke detector observed on this floor.
The Inspector recommends installing smoke detectors in compliance with modern requirements.



PLUMBING

Water quality or hazardous materials (lead) testing is available from local testing labs, and not included in this inspection. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection, nor can the presence of mineral build-up that may gradually restrict their inner diameter and reduce water volume. Plumbing components such as gas pipes, potable water pipes, drain and vent pipes, and shut-off valves are not generally tested. The inspector cannot state the effectiveness or operation of any anti-siphon devices, automatic safety controls, water conditioning equipment, fire and lawn sprinkler systems, on-site water quality and quantity, on-site waste disposal systems, foundation irrigation systems, spa and swimming pool equipment, solar water heating equipment, or observe the system for proper sizing, design, or use of materials.

Water heater is only inspected visually for leaks, supports, corrosion etc., where accessible and its response to hot water demand from taps. The adequacy or efficiency is not tested which is beyond the scope of this standard inspection.

LIMITATIONS

9.1 NON INSPECTED INSTALLATIONS

Water heaters, Whirlpool, Sauna, One way valves, Sewage plumbing outside of building, Water filtration system, Non visible nor accessible plumbing, Water pump, Water shut off valve, safety valves, main water shut off valve, Septic installation, Efficiency of floor, baths, showers, washing machine, dishwasher and sink drains. Multiple shower head installation.

WATER HEATER:

9.2 Location:

Hallway closet.

9.3 Make:

System is Rheem.
Year Of Manufacture : 1987.



9.4 Type:

Unit Type: Storage Tank.

9.5 Tank Capacity:

135L.

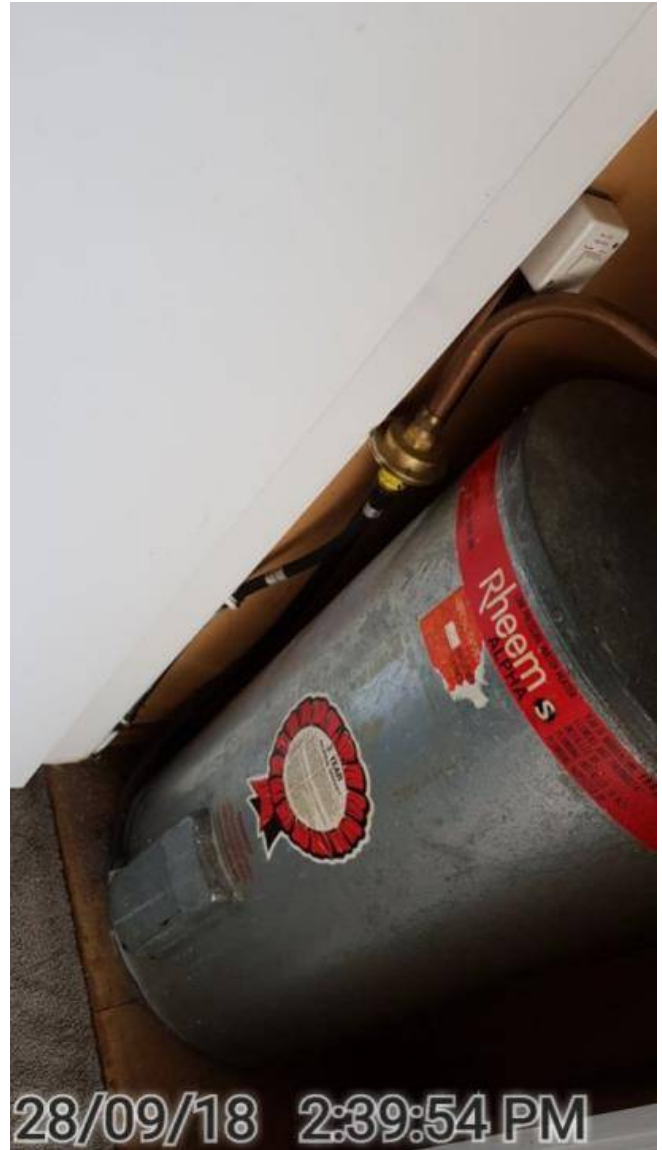


9.6 Fuel Source for Water Heater:

The water heater is electrically heated.

9.7 Electrical Service to Water Heater:

The electrical service to the water heater appears to be installed in an acceptable manner.



9.8 Exposed Water Heater Condition:

Seismic restraints not installed. To ensure the stability during earthquake, it is recommended to install seismic restraints by a plumbing contractor.



DRAIN / WASTE / VENT PIPES

9.9 NOTE

The General Home Inspection is a visual inspection of the home systems and their visible, accessible components. The home inspector evaluates drain pipes by operating and observing each operable home plumbing fixture to ensure proper drainage at each fixture at the time of the inspection. Blockages can occur between the time the home is inspected and the time you move in, sometimes due to cleaning activities. Blockages will eventually occur, usually relative in severity to the age of the plumbing system, and will range from minor blockages of branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main sewer line. Minor blockages are usually easily cleared, either by chemical or mechanical means or by removing and cleaning the traps.

The Inspector recommends that you ask the sellers if they have ever experienced any drainage problems. If the home is older, you may wish to have the main waste line video-scanned, as replacement can be expensive.

ELECTRICAL

We are not electricians and in accordance with the inspection standard, we only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. We do not open the panel cover and we check the main panel visually and make our comments. Any electrical repairs or upgrades should be made by a registered electrician.

Inoperative light fixtures often lack bulbs or have dead bulbs installed. Any ancillary wiring or system that is not part of the primary electrical distribution system is not part of this inspection but may be mentioned for informational purposes only, including but not limited to low voltage systems, security system devices, heat detectors, carbon monoxide detectors, telephone, security, cable TV, intercoms and built in vacuum equipment.

Electrical Distribution Panels:

10.1 Main Panel Devices:

The main electrical service panel appeared to be original and was of old fuse type. Service panels of this type and age were not designed to handle the larger loads placed upon service panel equipment by electrical appliances commonly found in modern homes. The Inspector recommends evaluation by a registered electrical contractor to determine the current condition and upgrade options.



ELECTRICAL OUTLETS

10.2

A representative number of interior wall outlets including every outlets close to water source and all exterior outlets responded to testing at the time of the inspection. Outlets which did not respond to testing will be listed in the appropriate area of this report.

LIGHT SWITCHES

10.3

A representative number of interior and exterior wall switches responded to testing at the time of the inspection. Switches which did not respond to testing will be listed in the appropriate area of this report.

WIRING

10.4 DESCRIPTION

Home branch circuit wiring consists of devices such as switches, outlets, connections for permanently-wired appliances and the electrical conductors which supply them with electricity. Most conductors are hidden behind floor, wall and ceiling coverings and cannot be evaluated by the inspector. The Inspector does not remove cover plates and inspection of branch wiring is limited to proper response to testing of switches and electrical outlets.

BRANCH WIRING

10.5 ELECTRICAL (Attic)

TPS (Thermo Plastic Sheathed) cabling observed.
This is a type of electrical cabling currently used.



GARAGE

Inspection of garage may be limited by the parked vehicles. Garages are designed as non habitable spaces and are inspected accordingly.

GARAGE

11.1 DESCRIPTION

One car garage.



EXTERIOR

11.2 CONSTRUCTION TYPE

Timber Framed.

11.3 CLADDING MATERIAL

Profiled Metal - painted.



11.4 FOUNDATION

Concrete block wall.



ROOF

11.5 DESCRIPTION

The roof configuration is Mono Pitched, The roof is covered with Trough section, long run metal panel roofing.

Rust damage with holes on the roof sheet noticed which can cause roof leaks. Recommend this be repaired by a qualified roofing contractor.

The roof pitch is 0.05 degrees. Recommended minimum pitch: 3 degree. Recommend this be evaluated and reconstructed with correct pitch for better drainage.



Rust noticed in some places needs repair.



11.6 GUTTERS

Material, Metal - External,
Debris visible in the gutters at the time of the inspection.
Remove debris from gutter to allow proper roof run-off. Recommend installing screens over gutters to prevent further accumulation of debris.

Rust noticed in the gutter. Recommend this be repaired / replaced by a qualified roofing contractor.





DOORS & WINDOWS

11.7 DOORS (vehicle)

Metal rolling door.



INTERIOR

11.8 SLAB

Concrete floor.



11.9 WALLS

Concrete block wall with metal panel.



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11.10 CEILINGS

Timber framed.



MOISTURE INTRUSION TESTING

During the course of this Residential Property Inspection, moisture testing procedures will be undertaken around high risk areas and places of common fault. Any moisture concentrations detected during this inspection will be included within this report.

We use TroTec T660, the latest, state of the art, non-invasive moisture meter to perform our moisture testing.

Moisture readings using Trotec T660:

Range Of Moisture Reading (Digits)

1-40 Dry

41-80 Damp

81 & above Wet

We also may use WAGNER BI2200 moisture meters which ignores the surface moisture and detects only the subsurface moisture. This meter gives readings as % of moisture content which is expected to be not more than 18 %.

Accurate moisture readings can only be taken by invasive methods which is outside the scope of this inspection. These readings are non invasive and indicative only and vary from property to property and dependent on the weather and other conditions at the time of inspection. Sometimes the moisture meters may show false positive readings due to the presence of metals underneath. Damp and wet readings will be notified in the report and further intrusive destructive testing may be required to examine the extent of moisture intrusion / damage which is not under the scope of this standard inspection.

If needed Infrared thermography may be performed if conditions favour using our high end FLIR EX IR camera and any abnormalities will be confirmed with moisture meter and reported.



MOISTURE INTRUSION TESTING

12.1 GENERAL READINGS

Moisture readings for this property is between 25 and 55 in general. High readings are observed in some places which are specified in the report.

12.2 LIVING ROOM

High Moisture Readings were observed at the wall left of the sliding door. Recommend this be further evaluated using invasive / destructive inspection techniques by a qualified weather tightness surveyor.



Paint peeling noticed in window frames. Recommend this be repaired and painted.



12.3 BEDROOM 1

High Moisture Readings were observed at the wall close to skirting below the window. Recommend this be further evaluated using invasive / destructive inspection techniques by a qualified weather tightness surveyor.



12.4 BEDROOM 2

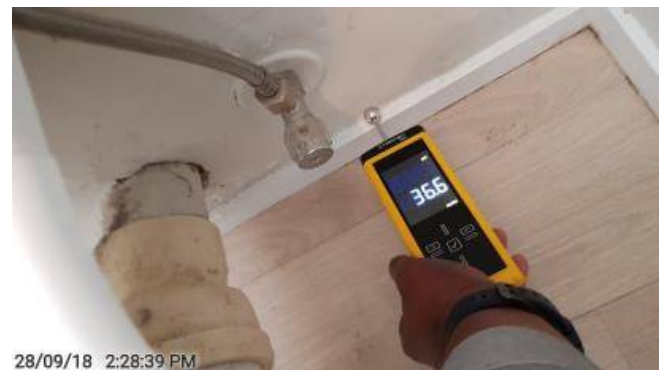
High moisture readings were observed at the wall close to skirting below the window. Recommend this be further evaluated using invasive / destructive inspection techniques by a qualified weather tightness surveyor.



12.5 BATHROOM



12.6 TOILET



12.7 LAUNDRY ROOM



Summary List Of Features Inspected

LEGEND: NA = NOT APPLICABLE

This is a checklist required as per the NZS4306:2005. For further details, please refer to the inspection report and to NZS4306.

SITE

YES NO NA

13.1 Orientation of building spaces

13.2 Site Exposure, contour and vegetation

13.3 Retaining walls

13.4 Paths, steps, handrails and driveways

13.5 Fencing

13.6 Surface water control

SUBFLOOR

13.7 Location of access point

13.8 Accessibility

13.9 Foundation type & condition

13.10 Foundation Walls

13.11 Ground condition

13.12 Ground vapour barrier

13.13 Drainage

13.14 Ventilation Adequacy

**13.15 Pile type, instability & condition**

YES NO NA

13.16 Pile to bear connections **13.17 Obvious structural alteration** **13.18 Ground clearance of timber framing** **13.19 Floor type (timber or suspended concrete)** **13.20 Timber framing & bracing** **13.21 Insulation type, approximate thickness, coverage & condition** **13.22 Plumbing – material types, leakage & support** **13.23 Electrical – Wiring type & support** **13.24 Insect and pest infestation** **13.25 Rotting timbers** **13.26 Debris** **EXTERIOR****13.27 Construction type** **13.28 Cladding** **13.29 Chimneys** **13.30 Exterior stairs** **13.31 Balconies, verandas, patios, etc.**

ROOF EXTERIOR

YES NO NA

13.32 Roof material

13.33 Roof condition

13.34 Roof water collection

13.35 Downpipes

13.36 Eaves, fascia & soffits

ROOF SPACE

13.37 Accessibility

13.38 Roof cladding

13.39 Thermal insulation type, clearance, approximate thickness & coverage

13.40 Sarking

13.41 Party walls, fire proofing

13.42 Roof underlay & support

13.43 Roof frame construction & connections

13.44 Ceiling construction

13.45 Obvious structural alteration

13.46 Insect and pest infestation

13.47 Rotting timbers

13.48 Discharges into roof space



13.49 Plumbing – material types, leakage & support

YES NO NA

13.50 Electrical - wiring type & support

13.51 Tile Fixings

INTERIOR

13.52 Ceilings

13.53 Walls

13.54 Timber floors

13.55 Concrete

13.56 Doors and frames

13.57 Electrical – Operation of switches, etc.

13.58 Heating systems

13.59 Bench top

13.60 Cabinetry

13.61 Sink

13.62 Tiles

13.63 Air Extraction system

13.64 WC, ensuite

13.65 Floor

13.66 Cistern, pan & bidet

13.67 Tiles

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**13.68 Bath**

YES NO NA

13.69 Shower**13.70 Vanity/washbasin****13.71 Ventilation****13.72 Special features****13.73 Location****13.74 Floor****13.75 Tiles****13.76 Tubs/cabinet****13.77 Ventilation****13.78 Storage****13.79 Stairs****13.80 Exterior windows & doors**

SERVICES

13.81 Fire warning control systems**13.82 Heating Systems****13.83 Central vacuum systems****13.84 Ventilation systems****13.85 Security system****13.86 Electrical services**

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**13.87 Gas services**

YES NO NA

13.88 Water services**13.89 Hot water services****13.90 Foul water services****13.91 Grey water recycling system****13.92 Rain water collection systems****13.93 Solar heating****13.94 Aerials & antennae****13.95 Shading systems****13.96 Telecommunications****13.97 Lifts**

ANCILLARY SPACES

13.98 Exterior claddings**13.99 Floors****13.100 Roofs****13.101 Subfloor**

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CERTIFICATE OF PROPERTY INSPECTION
in accordance with NZ Standard 4306:2005

Date: 28/09/2018

Client:

Site Address:

Property Inspector: Kathir Sam

Company: Right Home NZ Limited

Position: Director

Date of Inspection: 28/09/2018

The following areas of the Property have been inspected:

- a) Site - YES
- b) Subfloor - YES
- c) Exterior - YES
- d) Roof Exterior - YES
- e) Roof Space - YES
- f) Interior - YES
- g) Services - YES
- h) Accessory Units, Ancillary Spaces and Buildings - YES

Any limitations to the coverage of the Inspection are detailed in the Written Report.

CERTIFICATE

I hereby certify that I have carried out the PROPERTY INSPECTION of the site at the above address in accordance with NZS 4306:2005 Residential Property Inspection – and I am competent to undertake this Inspection.

Signature:

Kathir Sam BE., Dip. Bldg. Surveying.,(NZIBS), AMBOINZ

Accredited Building Surveyor (BOINZ)

Certified Professional Inspector (INTERNACHI)

Certified Thermographer (ASNT-Lev 1)

An inspection carried out in accordance with NZS4306:2005 is not a statement that a property complies with the requirement of any Act, regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property report. Refer NZS4306:2005 for full details.

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Appendix 1:

TERMS OF RESIDENTIAL INSPECTION TO NZS4306

1. The inspection conducted by Right Home NZ Limited pursuant to this Agreement is based on a VISUAL, NON-INVASIVE examination of the readily accessible features of the property AT THE TIME OF INSPECTION only. The inspection performed is in accordance with the NZS4306: 2005 Residential Property Inspection Standard and is not technically exhaustive.
2. The purpose of the inspection is to assess the general condition of the building based on the limited visual inspection described in the inspection report and may not identify all past, present or future defects. The descriptions in the report of systems or appliances relate to their existence only and not adequacy or life expectancy. Any area or component of the building or any item or system not specifically identified in this report as having been inspected was excluded from the scope of the inspection.
3. The inspection report provided after the inspection is an opinion of the present condition of the building. The inspection report is prepared with all reasonable care and skill, subject to the limitations contained herein. The inspection report is limited to the physical evidence that was visually accessible at the time of the inspection. While it is emphasized on identifying major problems, some minor problems may be identified, but an all-inclusive list of deficiencies is not provided, nor intended. The report will not include a description of all the systems and quotation for repairs is not within the scope of the inspection.
4. The inspection and inspection report excludes and does not intend to cover any areas, items, or conditions, which by their nature are concealed, not accessible, not visible, not conveniently located, cosmetically altered, otherwise difficult to inspect, or require relocation, removal or displacement of any material, object or thing. The inspection does not include identifying defects that are hidden behind walls, floors and ceilings, including but not limited to, wiring, structure, plumbing, and insulation that is hidden or inaccessible. You must provide sufficient access to complete the Inspection and the Inspector will not move any object or furniture for access.
5. Right Home NZ Limited will decide on the minimum safe access required in respect of property and as a guide the usual minimum access requirements (as per NZS4306: 2005) are as follows:

Roof interior: 450 x 400 mm man hole, 600 x 600 mm crawl space, accessible from a 3.6 m ladder Sub floor manhole 500 x 400* mm *Vertical clearance: Timber floor: 400 mm, Concrete floor: 500 mm (Underside of bearer) Roof exterior: Access from a 3.6 m ladder With multi-unit properties, Right Home NZ Limited will only inspect the interior and readily accessible parts of the exterior.
6. The inspection and inspection report may not include intermittent problems or conditions which are not apparent at the time of inspection, for example, including but not limited to, leaks that occur only during certain weather conditions, or when a specific tap or appliance is being used in everyday life.
7. The inspection and inspection report excludes and does not intend to cover swimming pools, whirl pools, spas, hot tubs, saunas, wells, water potability, septic systems, tennis courts, playground equipment, out-buildings of any kind other than detached garages, air conditioners, or household appliances including but not limited to the kitchen, leisure and laundry equipment. Also excluded are all fixtures and cosmetic conditions such as rugs, painting and wallpapering.
8. The inspection and inspection report is not intended, or is to be considered, as an insurance policy, guarantee, warranty of any kind, either expressed or implied, including any implied warranty or fitness for use, regarding the condition of the property, buildings, items contained in the building, structural, mechanical and systems inspected and it should not be relied upon as such.
9. The property report does not include the structural, electrical, plumbing or gas piping and fitting, ventilation and home heating state of the premises which require special purpose inspection by the respective specialists. We only comment on the visual existence and external visual defects where observed, of the above items. Their operation, adequacy or life expectancy is out of scope of this inspection. Only representative number of power outlets and light switches are tested as per the requirement of the inspection standard.



10. The quality of indoor air and the presence of irritants, pollutants, contaminants, toxic materials or organisms (e.g. mold, mildew), gases, Asbestos and Methamphetamine are not within the scope of this inspection.

11. We follow the health and safety guidelines in line with the Health and Safety at Work Act 2015. The Client is advised to participate in the inspection for better understanding of the property and they shall be at their own risk for injuries, property damages, or any other damages during inspection.

12. The inspection report does not take into account eligibility or compliance for mortgage, insurance, building or home owner's insurance. The inspection report does not cover compliance with any building related legislation such as and not limited to Building Act, Building code, Legal title, Building warrant of fitness, compliance schedule, Building Consent or Resource Consent.

13. The Client requests this inspection and inspection report for their exclusive, confidential use only. No use of the information presented in this report by any other party is intended. The Agreement, any interest herein or claims hereunder including those for money or payment shall not be transferred or assigned by the Client. The information provided in the inspection report will be the client's property solely for this transaction.

14. If any provision of this Agreement is determined to be invalid or unenforceable in whole or in part, such invalidity or unenforceability shall attach only to such provision or part thereof and the remaining part of such provision and all other provisions hereto shall continue in full force and effect. Should any dispute arise as a result of the inspection or inspection report, it must be submitted to RIGHT HOME NZ LIMITED in writing immediately. The Client agrees that in the event of a dispute, the contents of the Inspection Report may not be used to satisfy any terms of a sale and purchase agreement until the disagreement / dispute has been resolved. The Client agrees that, if after raising a dispute, the Client uses the inspection or Inspection Report to make an unconditional offer or confirm a sale and purchase agreement, the Client shall be deemed to have waived all rights to continue with the dispute, and/or raise any future dispute or claim against RIGHT HOME NZ LIMITED. The client further agrees that with the exception of emergency conditions, client, or clients agents, employees or independent contractors will make no alteration, modification, or repairs to the claimed discrepancy prior to a re-inspection by the inspector. Client understands and agrees that any failure to notify the inspector as stated above shall constitute a waiver of any and all claims for said failure to accurately report the condition in question.

15. The inspection and inspection report are provided on an "opinion only" basis. Right Home NZ Limited assumes no liability or responsibility for the cost of repair or replacing any reported and /or unreported defects or conditions. The Client agrees that the maximum aggregate liability of the inspector or Right Home NZ Limited for this inspection shall be limited to the amount of the inspection fee agreed to in this Agreement. Right Home NZ Limited will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced or otherwise changed before Right Home NZ Limited have had a reasonable amount of time to investigate the claim or complaint. The Client understands that this inspection report cannot accurately or completely assess risk, detect all flaws, predict all occurrences or make assurances. The inspection report is valid for 90 days from the date of report.

16. Surface moisture readings will be taken around risky internal areas using non-invasive capacitance moisture meter which are indicative values only. Inspection of actual moisture intrusion and the extent of damage can only be done by invasive / destructive methods which are part of a special purpose weather tightness report. This inspection is not a weather tightness report.

17. Payment is due on or before the date of inspection. The report will be emailed in PDF form only, within 2 working days after the inspection. Hard copy will cost \$60 + GST if needed.

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Appendix 2:

Qualification & Experience Of The Inspector

The home inspector **Kathir Sam** is an ENGINEERING GRADUATE with 20 plus years of combined experience in engineering and construction related industry including design and fabrication of building structures, building repairs, renovation, ventilation, air conditioning and home inspection.

He has completed the DIPLOMA IN BUILDING SURVEYING from NZIBS (New Zealand Institute Of Building Surveyors), a prestigious body of registered building surveyors.

He is an ACCREDITED BUILDING SURVEYOR (Level 2) from BOINZ (Building Officials Institute of New Zealand), a peak body of building inspectors in New Zealand.

He is a CERTIFIED PROFESSIONAL INSPECTOR from INTERNACHI - USA (International Association of Certified Home Inspectors), the most prestigious and largest body of home inspectors in the world and has acquired the following other certifications as well.



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